

# Lebanon VA Medical Center

## Behavioral Health Complex

1700 South Lincoln Ave.  
Lebanon, PA 17042

100% CONSTRUCTION  
DOCUMENTS  
07/27/2012

OWNER

VETERANS ADMINISTRATION

1700 South Linclon Avenue  
Lebanon, PA 17042  
PHONE: (717) 228-6050 x4740

ARCHITECT

ARRAY Healthcare Facilities Solutions

2520 Renaissance Blvd, Suite 110  
King of Prussia, PA 19406  
PHONE: (610) 270-0599

CIVIL ENGINEER

DEWBERRY

600 Parsippany Road, Suite 301  
Parsippany, NJ 07054-3715  
PHONE: (973) 739-9400

STRUCTURAL ENGINEER

WZG

180 W. Ridge Pike  
Limerick, PA 19468  
PHONE: (214) 329-5559

MEP ENGINEER

H.F. LENZ

1407 Scalp Avenue  
Johnstown, PA 15904  
PHONE: (814) 269-9300

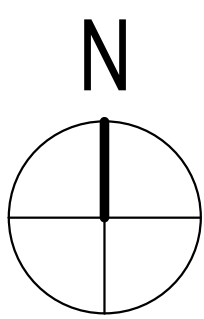
ENVIRONMENTAL CONSULTANT

SSM GROUP, INC.

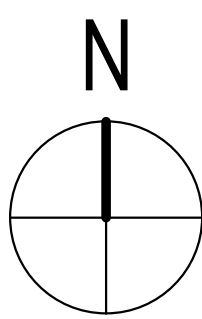
1047 North Park Road, P.O. Box 6307  
Reading, PA 19610-0307  
PHONE: (610) 621-2000



PROJECT LOCATION



AREA OF WORK



FULLY SPRINKLERED  
100% CONSTRUCTION DOCUMENTS

Revisions		Date	CONSULTANTS:						ARCHITECT:  healthcare facilities solutions		Project Number 3468	Scale	Drawing Title COVER SHEET	Project Title Behavioral Health Complex			VA Project Number 595-109		Office of Facilities Management				
			Location 1700 South Lincoln Ave. Lebanon, PA 17042			Drawing Number GI001								Dwg. 1 of 123									
			<div><div><div>Civil Engineer</div><div> 600 Parsippany Road, Suite 301 Parsippany, NJ 07054-3715 Tel: (973) 739-9400 Fax: (973) 739-9710</div></div><div><div>Structural Engineer</div><div> 180 W. Ridge Pike Limerick, PA 19468 Tel: (214) 329-5559</div></div><div><div>MEP Engineer</div><div> 1407 Scalp Avenue Johnstown, PA 15904 Tel: (814) 269-9300 Fax: (814) 269-9301</div></div><div><div>Environmental Consultant</div><div> 1047 North Park Road, P.O. Box 6307 Reading, PA 19610 Tel: (610) 621-2000</div></div><div><div>Cost Estimator</div><div> 221 Chestnut Street, Suite 200 Philadelphia, PA 19106 Tel: (215) 923-8888</div></div></div>							2520 Renaissance Boulevard, Suite 110 King of Prussia, PA 19406		Approved: Project Director			Date 07/27/2012			Checked JP		Drawn NH			

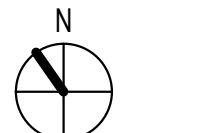


# SYMBOL LEGEND

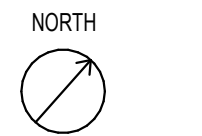
## ROOM INDICATION

ROOM NAME — ROOM NAME  
101 — ROOM NUMBER

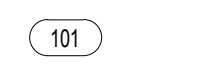
## NORTH ARROW



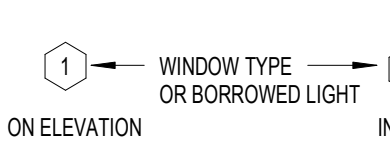
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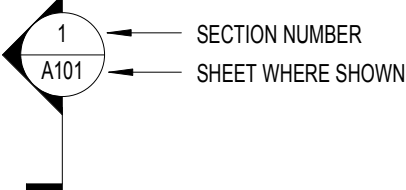
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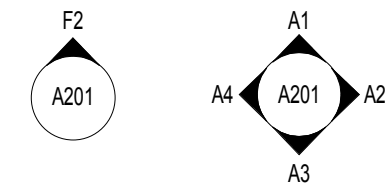
## WINDOW SYMBOL



## BUILDING WALL SECTION INDICATION



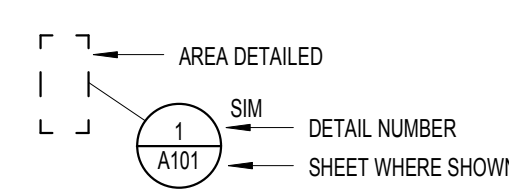
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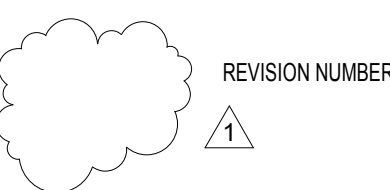
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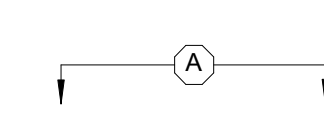
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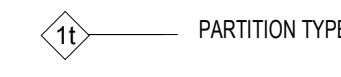
## REVISION INDICATION



## ALIGN WITH EXISTING CONSTRUCTION



## PARTITION TYPE SYMBOL

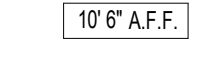


## EQUIPMENT DESIGNATION

(SEE EQUIPMENT MANUAL)



## CEILING HEIGHT



## FINISH SYMBOLS

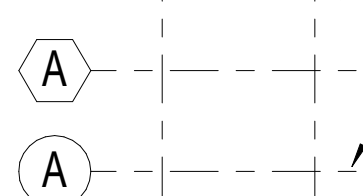
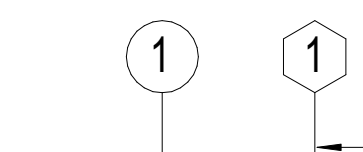
### ROOM FINISH TAG

NAME: CEILING FINISH  
WALL FINISH  
FLOOR FINISH  
BASE FINISH

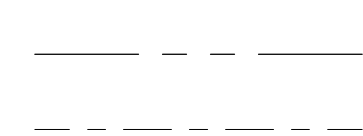


OG DENOTES CORNER GUARD LOCATION

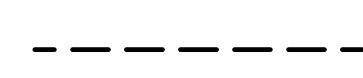
## LINE TYPE SYMBOLS



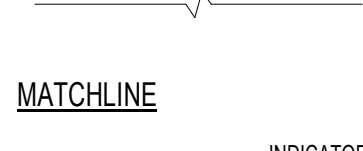
## MATCHLINE



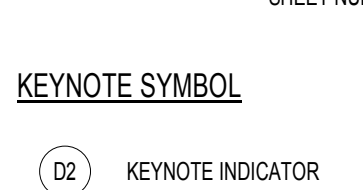
## KEYNOTE SYMBOL



## EXISTING DOOR DESIGNATION



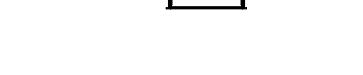
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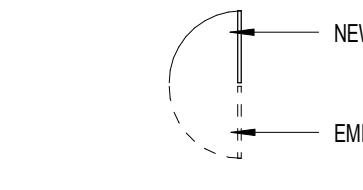
## EMERGENCY DOOR DESIGNATION



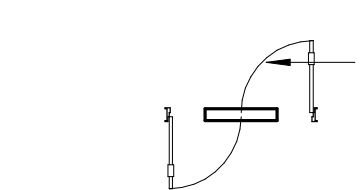
## DOUBLE EGRESS DOOR DESIGNATION



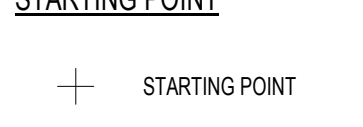
## STARTING POINT



## ELEVATION TAG



## GENERAL DIMENSIONING

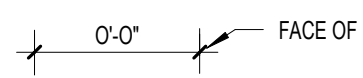


## NOTE: THE ± INDICATES A DIMENSION THAT CAN VARY (NOTIFY THE ARCHITECT OF ANY CHANGE IN THAT DIMENSION IF IT IS GREATER THAN 1")

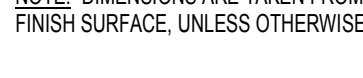


## NOTE: EXISTING DIMENSIONS INDICATED AS (P-0") OR WITH (V/F) ARE SUPPLIED TO THE ARCHITECT BY OTHERS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. (SEE GENERAL CONTRACTOR RESPONSIBILITIES WITH RESPECT TO EXISTING CONDITION NOTES)

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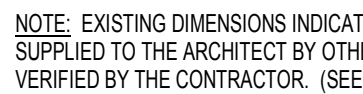
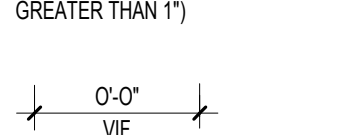


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OG DENOTES CORNER GUARD LOCATION

# DRAWING LIST

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GS-201	GRADING PLAN
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GS-301	POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS
GS-400	EROSION AND SEDIMENT CONTROL PLAN
GS-401	EROSION AND SEDIMENT CONTROL DETAILS
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GS-701	SITE DETAILS-2
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S203	TYPICAL DETAILS
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AE113	FIRST FLOOR REFLECTED CEILING PLAN
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AE122	SECOND FLOOR DIMENSION PLAN
AE123	SECOND FLOOR REFLECTED CEILING PLAN
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AE301	EXTERIOR ELEVATIONS
AE302	EXTERIOR ELEVATIONS
AE303	INTERIOR ELEVATIONS
AE304	INTERIOR ELEVATIONS
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AE402	WALL SECTIONS
AE403	WALL SECTIONS
AE404	WALL SECTIONS
AE405	WALL SECTIONS
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AE502	STAIR DETAILS
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AE601	EXTERIOR DETAILS
AE602	EXTERIOR DETAILS
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AE620	MILLWORK AND CASEWORK DETAILS
AE621	ENLARGED TOILET PLANS AND ELEVATIONS
AE622	TOILET DETAILS & ACCESSORIES SCHEDULE
AE701	DOOR AND BORROWED LIGHT SCHEDULES & DETAILS
AE702	FRAME DETAILS
AE703	WINDOW, LOUVER AND ALUMINUM FRAME SCHEDULE
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ES203	ELECTRICAL LIGHTING, POWER, AND SIGNAL FLOOR PLANS - SECOND FLOOR
ES204	ELECTRICAL POWER PLANS - MECHANICAL EQUIPMENT CONNECTIONS - FIRST AND SECOND FLOORS
ES205	ELECTRICAL ROOF PLAN - LIGHTNING PROTECTION
ES206	PARTIAL FIRST FLOOR ELECTRICAL PLANS - POWER AND SIGNAL
ES301	ELECTRICAL RISER DIAGRAM
ES302	ELECTRICAL ONE-LINE DIAGRAM
ES303	ELECTRICAL DIAGRAM - AUXILIARY SYSTEMS
ES304	ELECTRICAL DIAGRAMS - AUXILIARY SYSTEMS
ES401	ELECTRICAL DETAILS
ES402	ELECTRICAL DETAILS
ES403	ELECTRICAL DETAILS
ES404	ELECTRICAL DETAILS
ES405	ELECTRICAL DETAILS
ES406	ELECTRICAL DETAILS
ES501	ELECTRICAL SCHEDULES
ES502	ELECTRICAL SCHEDULES
ES503	ELECTRICAL SCHEDULES

# CONTRACTOR GENERAL NOTES

- DRAWINGS AND SPECIFICATIONS ARE ONLY TO DEPICT GRAPHICALLY THE GENERAL NATURE OF THE WORK AND SHOW THE GENERAL EXTENT OF THE PROJECT, AND DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS, NOR DO THEY SHOW ALL OF THE CONDITIONS WHICH MAY BE ENCOUNTERED TO PROPERLY EXECUTE THE WORK ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED. THE CONTRACTOR SHALL FURNISH ALL WORK ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK TO BE IN CONFORMANCE WITH AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF WORK AND OCCUPANCY.
- THE CONTRACTOR SHALL NOT RELY ON THE ARCHITECT SITE VISITS TO DISCOVER DEFECTS AND DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL DETERMINE THAT THE WORK IS BEING PERFORMED IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED BUILDING AREAS CAUSED AS A RESULT OF WORK PERFORMED IN CONNECTION WITH THIS CONTRACT.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY "PATHS OF EGRESS" THROUGH THE AREAS OF THE WORK. SUCH PATHS SHALL BE PROVIDED BY THE CONTRACTOR WITH ADEQUATE ARTIFICIAL LIGHT, DIRECTION SIGNS, CLEARANCES, FIRE PROTECTION, ETC., AND SHALL BE CONSTRUCTED AND MAINTAINED SAFE FROM FIRE, SMOKE, AND OTHER PHYSICAL DANGERS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, LIGHTS, AND OTHER WARNING DEVICES AT ALL DITCHES, OPEN EXCAVATION, AND OTHER AREAS OF POTENTIAL DANGER TO PERSONNEL OR PUBLIC. ALL ITEMS SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY STAIRS TO ALL LEVELS OF CONSTRUCTION UNTIL PERMANENT STAIRS ARE COMPLETED. ALL STAIRS SHALL BE MAINTAINED OPEN AND CLEAR AT ALL TIMES. THE STAIR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL TURN THE WORK OVER IN CLEAN CONDITION INSIDE AND OUTSIDE. CLEANUP SHALL INCLUDE REMOVAL OF SMUDGES, MARKS, STAINS, FINGERPRINTS, SOIL, DIRT, PAINT, DUST, LINT, LABELS, DISCOLORATIONS AND OTHER FOREIGN MATERIALS. THE CONTRACTOR SHALL CLEAN ALL FINISHED SURFACES INSIDE AND OUTSIDE OF BUILDINGS, SUCH AS, BUT NOT LIMITED TO, FLOORS, WALLS, CEILINGS, WINDOW GLASS, DOORS, FIXTURES, HARDWARE AND EQUIPMENT. SHALL CLEAN ALL WORK ON THE SITE SUCH AS, BUT NOT LIMITED TO, WALKS, DRIVES, CURBS, PAVING, FENCES, GROUNDS, AND WALLS. SHALL REMOVE ALL TEMPORARY FACILITIES AND JOB SIGNS, INCLUDING SURFACE MATERIALS FOR TEMPORARY ROADS AND WALKWAYS. SHALL REPAIR ALL AREAS DAMAGED DURING THE WORK. IT SHALL BE UNDERSTOOD BY THE CONTRACTOR THAT THE QUALITY OF CLEANING AND POLISHING REQUIRED FOR ACCEPTANCE OF EACH AREA SHALL BE IN ACCORDANCE WITH THE INTENDED USE OF EACH AREA AND MAY BE IN EXCESS OF THE NORMAL PRACTICES OF THE CONSTRUCTION INDUSTRY.
- THE CONTRACTOR SHALL PROVIDE LARGE VOLUME WASTE CONTAINERS ON THE SITE WITHIN THE CONSTRUCTION AREA. IN MUNICIPALITIES WHERE RECYCLING IS REQUIRED BY ORDINANCE, THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF CONTAINERS TO ALLOW SEPARATION OF MATERIAL. AT THE END OF EACH WORKING DAY ALL DEBRIS RESULTING FROM THE DAY'S WORK SHALL BE TRANSPORTED TO AND PLACED IN THE APPROPRIATE WASTE CONTAINERS.
- THE PROTECTION OF THE PROPERTY UNDER THE CONTRACTOR'S CONTROL AT ALL TIMES IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM VANDALISM, THEFT AND OTHER DAMAGE, AND SHALL PROTECT THE OWNER'S PROPERTY AND ADJACENT PROPERTY FROM DAMAGE. ANY LOSS SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL INSTALL AND ACTIVATE FIRE LINES AND PERMANENT OR TEMPORARY FIRE HOSE CABINETS AND PROVIDE ADEQUATE FIRE EXTINGUISHERS THROUGHOUT THE LIMIT OF WORK PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL MAINTAIN SUCH EQUIPMENT IN WORKING ORDER THROUGHOUT CONSTRUCTION. THE TYPE, QUANTITY AND LOCATION OF THIS EQUIPMENT SHALL BE REASONABLY ADEQUATE TO SUIT THE CONDITIONS AND COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN IN A SAFE CONDITION ALL THOSE ITEMS REQUIRED FOR SUPPORTING OR CONTAINING ALL PERSONS INVOLVED IN THE WORK, OR INCIDENTAL TO ITS EXECUTION, INCLUDING INSPECTORS, SUPERVISORS, ARCHITECTS, REPRESENTATIVES, FIELD TESTING PERSONNEL, ETC. SUCH ITEMS SHALL INCLUDE LADDERS, CATWALKS, SAFETY RAILINGS, CAGES, SUSPENSION SCAFFOLDS, ETC. ALL ITEMS AND THEIR PROPER USE AND IMPLEMENTATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE LAWS, REGULATIONS AND ORDINANCES.

# VA GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE PERFORMED DURING NORMAL BUSINESS HOURS OF 7:00 AM - 3:30 PM, EXCEPT SATURDAY, SUNDAY AND HOLIDAYS, UNLESS APPROVED IN ADVANCE BY THE CONTRACTING OFFICER.
- THE CONTRACTOR MAY BE REQUIRED TO WORK OFF HOURS AND OVERTIME TO COMPLETE OR CONSTRUCT PORTIONS OF THIS WORK IN COMPLIANCE WITH THE CONTRACT STIPULATED TIME PERIOD OR AS DIRECTED BY THE CONTRACTING OFFICER AT NO ADDITIONAL COST TO THE GOVERNMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST EDITIONS OF ALL OSHA REGULATIONS AND REQUIREMENTS AT THEIR OWN EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ON SITE THE LOCATIONS OF EXISTING UTILITIES. EXISTING CONDITIONS, FIELD MEASUREMENTS AND DIMENSIONS, AND QUANTITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, DEPTH, DIRECTION, SIZE OF ALL EXISTING UTILITIES IN THE VICINITY OF THE WORK AREA. THE CONTRACTOR SHALL REPAIR ANY UTILITY DISRUPTED, BROKEN, OR OTHERWISE RENDERED NON-FUNCTIONAL DUE TO THE WORK PERFORMED AT NO ADDITIONAL COST TO THE GOVERNMENT.
- THE CONTRACTOR SHALL IDENTIFY ANY NON-FUNCTIONING UTILITY/SYSTEM PRIOR TO THE START OF WORK TO THE CONTRACTING OFFICER. IDENTIFICATION OF SUCH AFTER THE START OF WORK SHALL BE DEEMED AS DISTURBED OR DAMAGED BY THE CONTRACTOR AND SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER SUPPORT OF ANY UTILITY ENCOUNTERED IN THE COURSE OF THIS WORK.
- THE CONTRACTOR SHALL LEAVE THE WORK SITE CLEAN AND SECURED AT THE END OF EACH WORKING DAY. THE WORK SITE SHALL NOT BE LEFT UNTILATED AT ANY TIME, UNLESS THE WORK AREA IS PROPERLY SECURED.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE WORKSITE AND SHALL TAKE ALL ACTIONS TO ELIMINATE ANY SAFETY HAZARDS THAT MAY POSE A THREAT OF HARM TO PATIENTS, EMPLOYEES OF THE GOVERNMENT AND EMPLOYEES OF THE CONTRACTOR OR OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO TAKE IMMEDIATE ACTION TO ALLEVIATE ANY SAFETY HAZARD THAT MAY EXIST WITHOUT DIRECTION FROM THE CONTRACTING OFFICER OR HIS DESIGNEE. THE CONTRACTOR SHALL ALSO TAKE IMMEDIATE CORRECTIVE ACTION TO ALLEVIATE ANY SAFETY HAZARD, CONDITION, ETC., WHEN INDICATED BY THE CONTRACTING OFFICER.
- THERE SHALL BE NO CLAIMS AGAINST THE DEPARTMENT OF VETERANS AFFAIRS FOR WORK STOPPAGES DUE TO ACTS OF GOD, WEATHER CONDITIONS, STOP WORK ORDERS (VERBAL AND/OR WRITTEN), UNDERESTIMATION OF WORK, ESTIMATED QUANTITIES, MATERIALS, SUPPLIES, TOOLS, OR CORRECTION OF SAFETY PROBLEMS.
- CONTRACTOR SHALL SAW CUT WITH A PROPER BLADE ANY CONCRETE WORK REQUIRED TO BE REMOVED IN THE COURSE OF THIS WORK. ALL HOLES SHALL BE CORED DRILLED WITH DIAMOND CORE BITS. THE USE OF JACK HAMMERS IS PROHIBITED DURING QUIET TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM THE MEDICAL CENTER DAILY AND DISPOSE OF SAME OFF THE PREMISES IN ACCORDANCE WITH PERTINENT REGULATIONS.
- CONTRACTOR SHALL PROVIDE FOR THEIR OWN STORAGE SPACE AND SECURITY FOR SAME. CONTRACTOR IS PROHIBITED FROM USING VA SPACE FOR STORAGE.
- CONTRACTOR SHALL BE RESPONSIBLE TO REROUTING ANY EXISTING UTILITY RELATED TO BUILDINGS 26 & 28 DEMOLITION AND AS REQUIRED TO COORDINATE THE INSTALLATION OF NEW WORK IN THE COURSE OF THIS PROJECT. THE CONTRACTOR IS ADVISED THAT THE VETERANS ADMINISTRATION HAS ATTEMPTED TO IDENTIFY MAJOR UTILITIES TO BE REROUTED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES.
- CONTRACTOR SHALL INSTALL AND MAINTAIN DUST BARRIERS AS REQUIRED TO MAINTAIN INFECTION CONTROL AS INDICATED ON THE DRAWINGS.
- PRIOR TO ANY WELDING, CUTTING, BRAZING, SOLDERING, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN A HOT WORK PERMIT FROM THE DEPARTMENT OF VETERANS AFFAIRS ENGINEERING.
- THE CONTRACTOR SHALL MAINTAIN SECURITY FOR THE WORK AREA AND PROVIDE KEYS TO THE CONTRACTING OFFICER FOR ACCESS.
- THE CONTRACTOR SHALL MAINTAIN THE WORK SITE IN A NEAT AND CLEAN CONDITION. THE WORK SITE SHALL BE BROOM CLEANED AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR'S EMPLOYEES SHALL PARK IN APPROVED OR DESIGNATED PARKING SPACES ONLY.
- ANY RIGGING REQUIRED SHALL BE PERFORMED BY PROFESSIONAL RIGGERS AT THE EXPENSE OF THE CONTRACTOR.

# CONSULTANTS:

Civil Engineer



600 Parsippany Road, Suite 301  
Parsippany, NJ 07054-3715  
Tel: (973) 738-9400  
Fax: (973) 738-9710

Structural Engineer



180 W. Ridge Pike  
Limerick, PA 19468  
Tel: (610) 329-5559

MEP Engineer



1407 Scalp Avenue  
Johnstown, PA 15904  
Tel: (814) 269-9300  
Fax: (814) 269-9301

Environmental Consultant



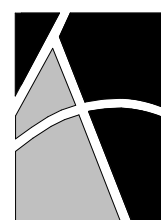
1047 North Park Road, P.O. Box 6307  
Reading, PA 19610  
Tel: (610) 621-2000

Cost Estimator



221 Chestnut Street, Suite 200  
Philadelphia, PA 19106  
Tel: (215) 923-8888

# ARCHITECT:



healthcare facilities solutions

Project Number  
3468

Scale  
As indicated

2520 Renaissance Boulevard, Suite 110  
King of Prussia, PA 19406

T: 610.270.0599  
F: 610.270.0695  
www.arrayhfs.com

Drawing Title

DRAWING LIST AND DOCUMENT CONVENTIONS

Approved: Project Director

Project Title

Behavioral Health Complex

Location

1700 South Lincoln Ave. Lebanon, PA 17042

Date

07/27/2012

Checked

EBC

Drawn

NH

VA Project Number

595-109

Building Number

34

Drawing Number

GI002

Dwg. 2 of 123

Office of  
Facilities  
Management



FULLY SPRINKLERED  
100% CONSTRUCTION DOCUMENTS



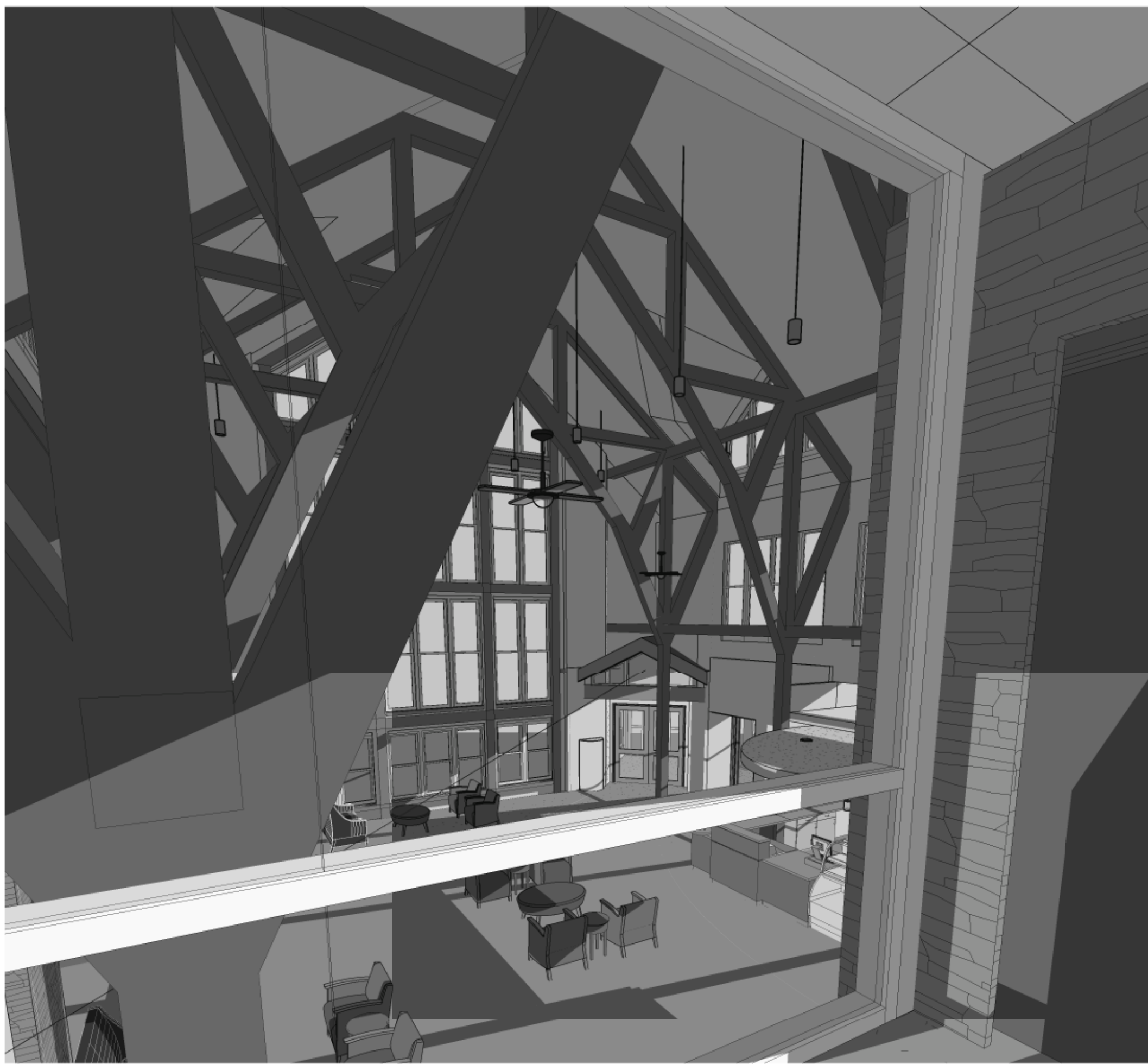
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one inch = one foot  
three quarters inch = one foot  
one and one half inches = one foot  
two inches = one foot  
three inches = one foot



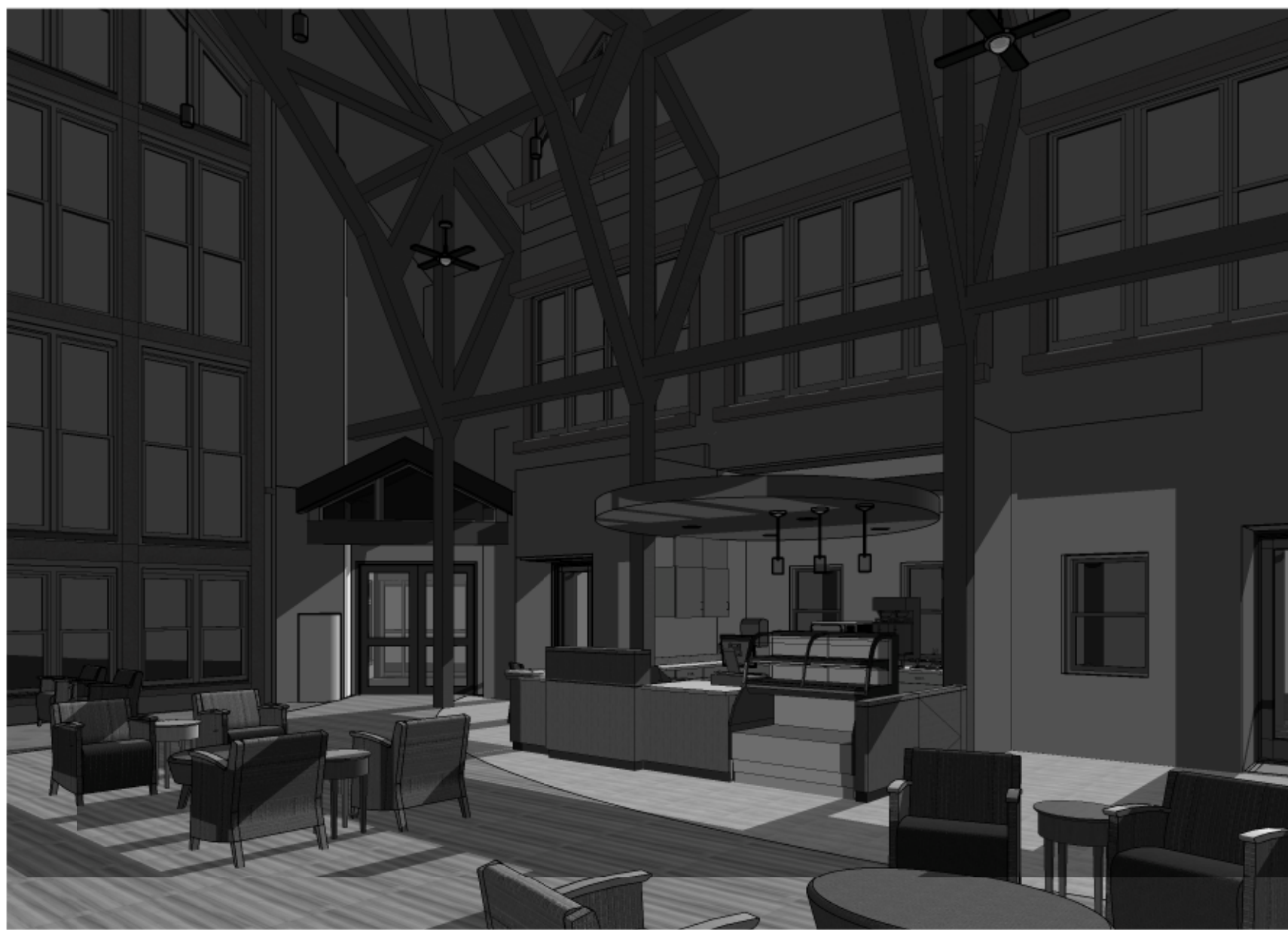
B2 EXTERIOR RENDERING



F1 INTERIOR RENDERING - COMMONS AREA



C6 INTERIOR RENDERING - 2ND FLOOR LOOKING DOWN

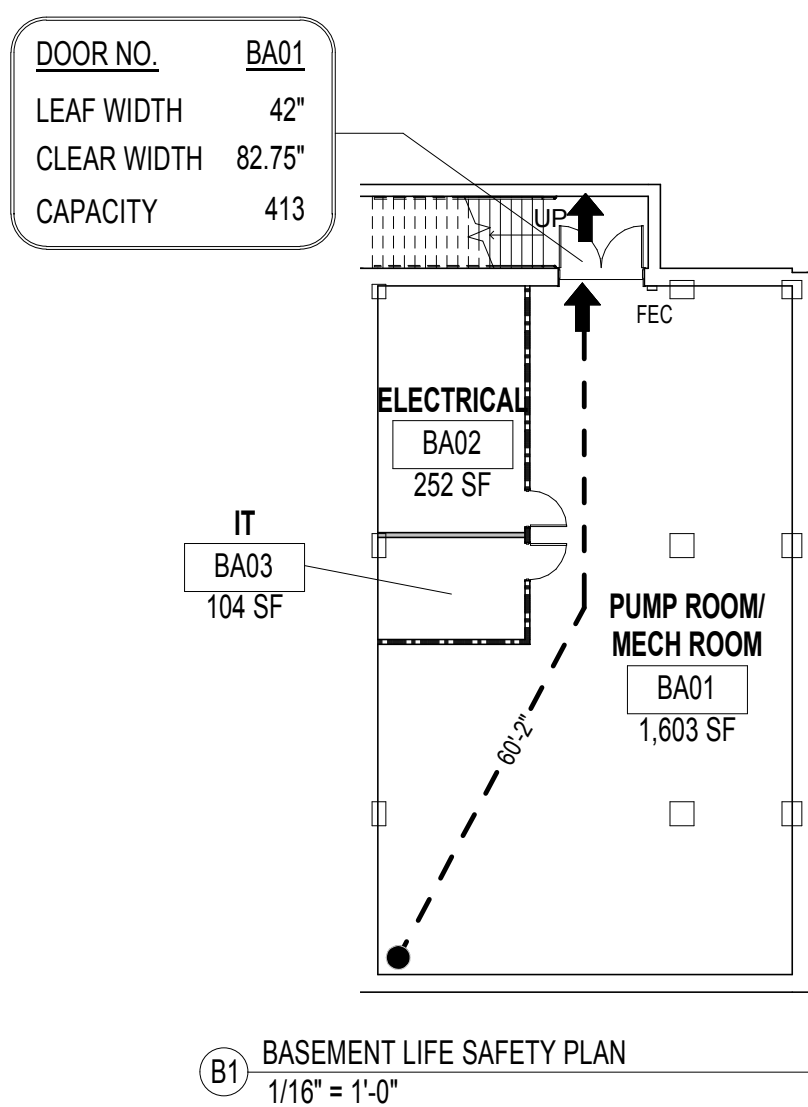


F6 INTERIOR RENDERING - CAFE

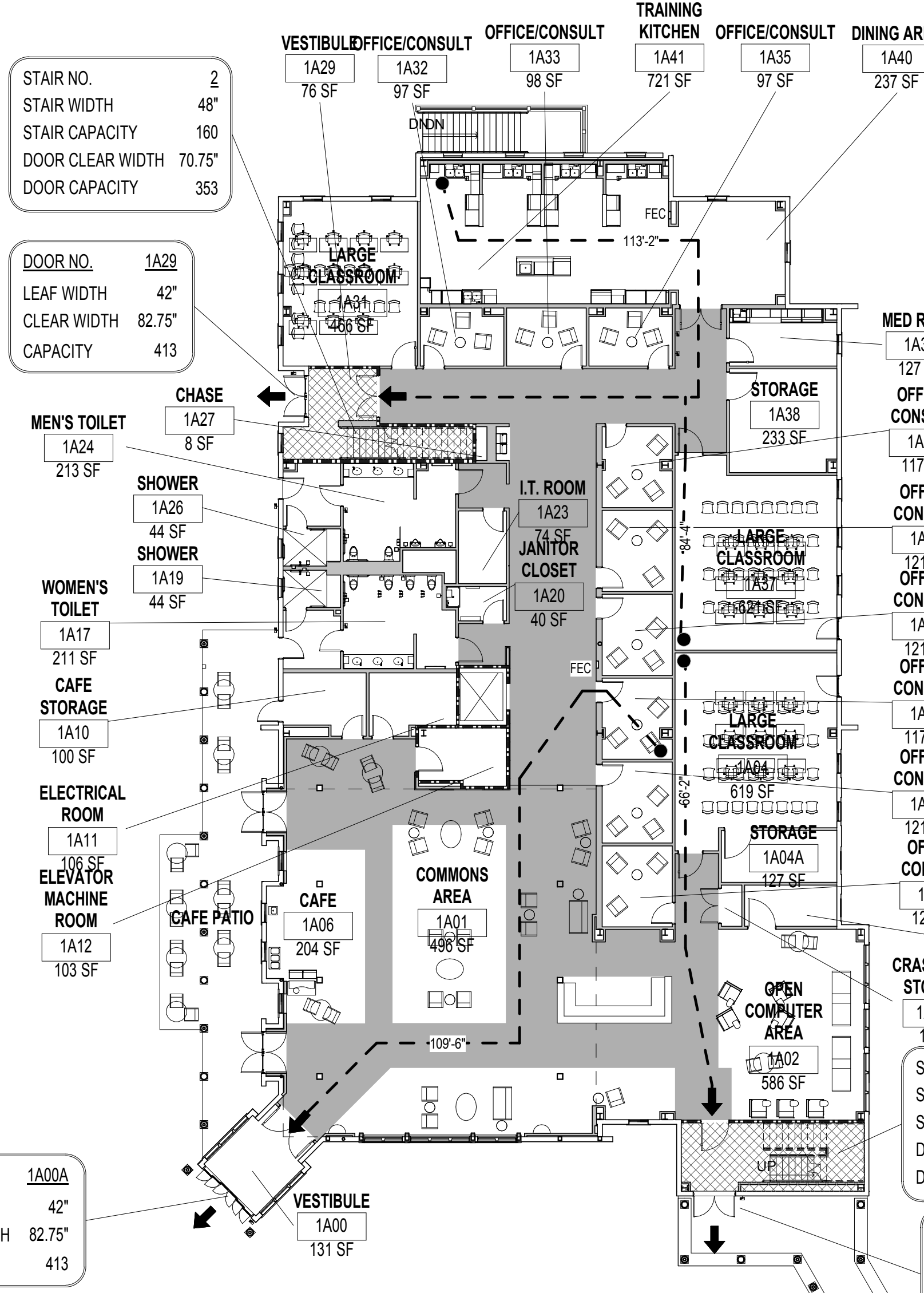
FULLY SPRINKLERED  
100% CONSTRUCTION DOCUMENTS

Revisions		Date		<b>CONSULTANTS:</b>							<b>ARCHITECT:</b>		Project Number 3468	Scale	Drawing Title <b>RENDERINGS</b>	Project Title <b>Behavioral Health Complex</b>	VA Project Number <b>595-109</b>	<b>Office of Facilities Management</b>	
				<div><div>Civil Engineer  600 Parsippany Road, Suite 301 Parsippany, NJ 07054-3715 Tel: (973) 739-6600 Fax: (973) 735-9710</div><div>Structural Engineer  180 W. Ridge Pike Limerick, PA 19468 Tel: (214) 329-5559</div><div>MEP Engineer  1407 Scalp Avenue Johnstown, PA 15904 Tel: (814) 268-8300 Fax: (814) 268-9301</div><div>Environmental Consultant  1047 North Park Road, P.O. Box 6307 Reading, PA 19610 Tel: (610) 621-2000</div><div>Cost Estimator  221 Chestnut Street, Suite 200 Philadelphia, PA 19106 Tel: (215) 923-8888</div></div> <td colspan="5"> <b>healthcare facilities solutions</b></td> <td colspan="2">2520 Renaissance Boulevard, Suite 110 King of Prussia, PA 19406  t: 610.270.0599 f: 610.270.0995 www.arrayhfs.com</td> <td colspan="2">Approved: Project Director</td> <td>Location <b>1700 South Lincoln Ave. Lebanon, PA 17042</b></td> <td>Building Number <b>34</b></td> <td>Drawing Number <b>G1100</b></td> <td>Dwg. 3 of 123</td>							 <b>healthcare facilities solutions</b>					2520 Renaissance Boulevard, Suite 110 King of Prussia, PA 19406  t: 610.270.0599 f: 610.270.0995 www.arrayhfs.com			
																			

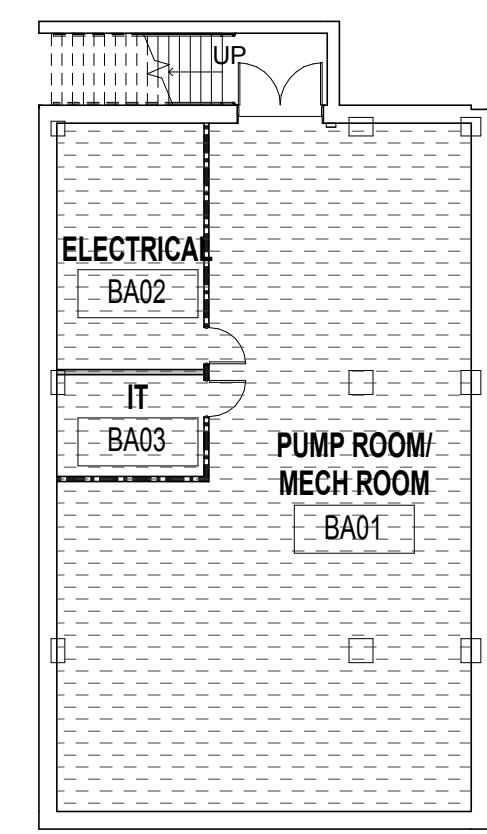




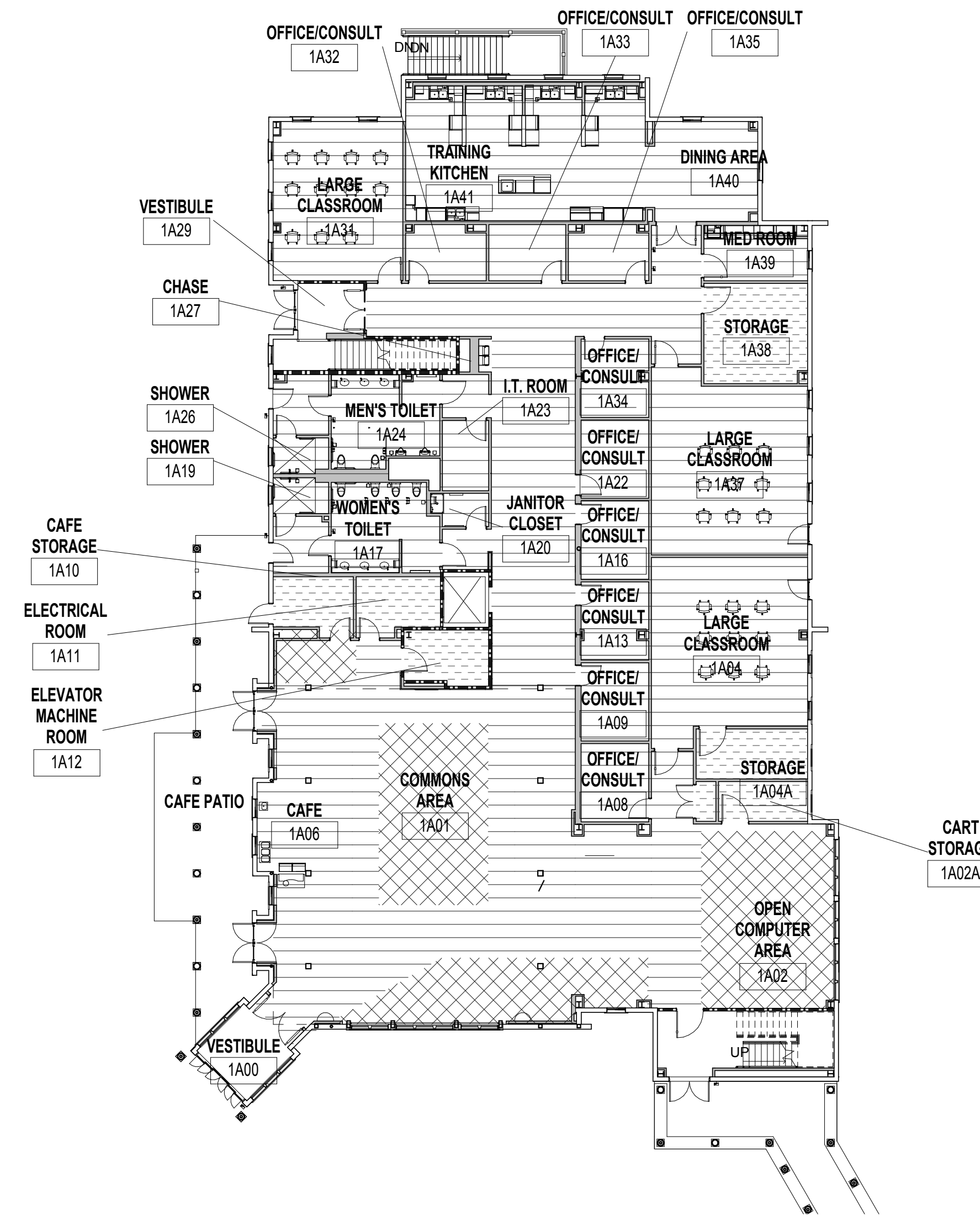
B1 BASEMENT LIFE SAFETY PLAN  
1/16" = 1'-0"



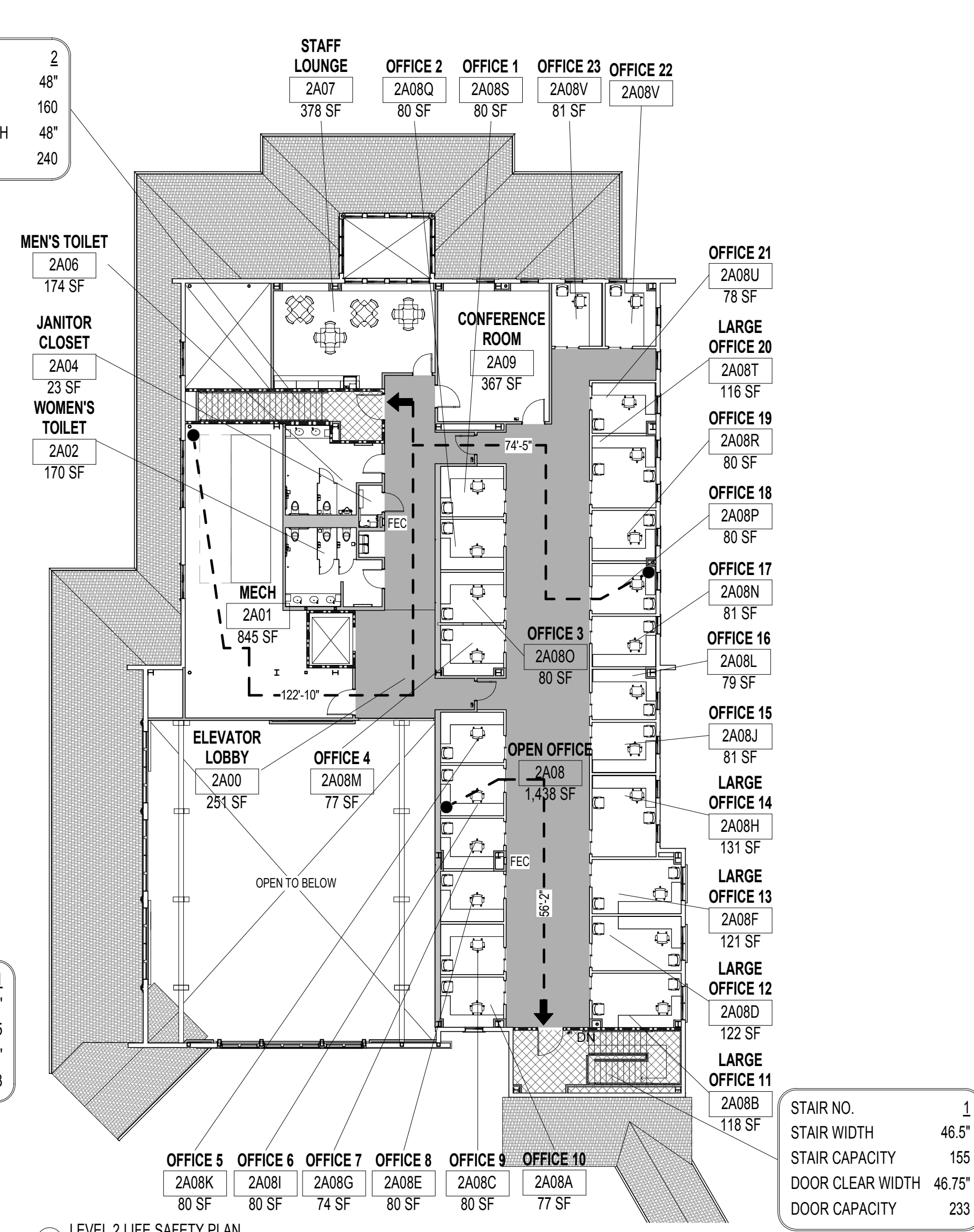
C2 LEVEL 1 LIFE SAFETY PLAN  
1/16" = 1'-0"



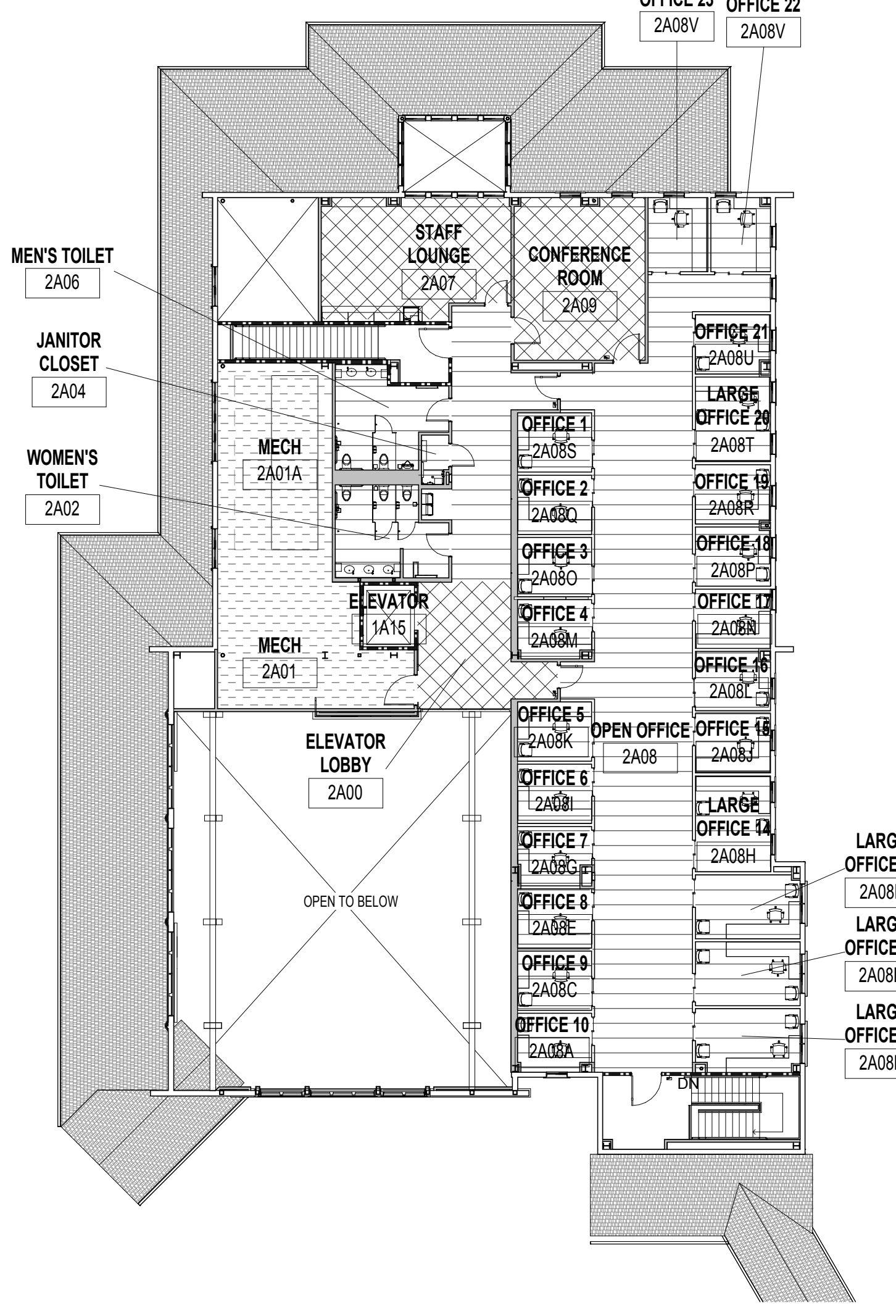
E1 BASEMENT OCCUPANCY PLAN  
1/16" = 1'-0"



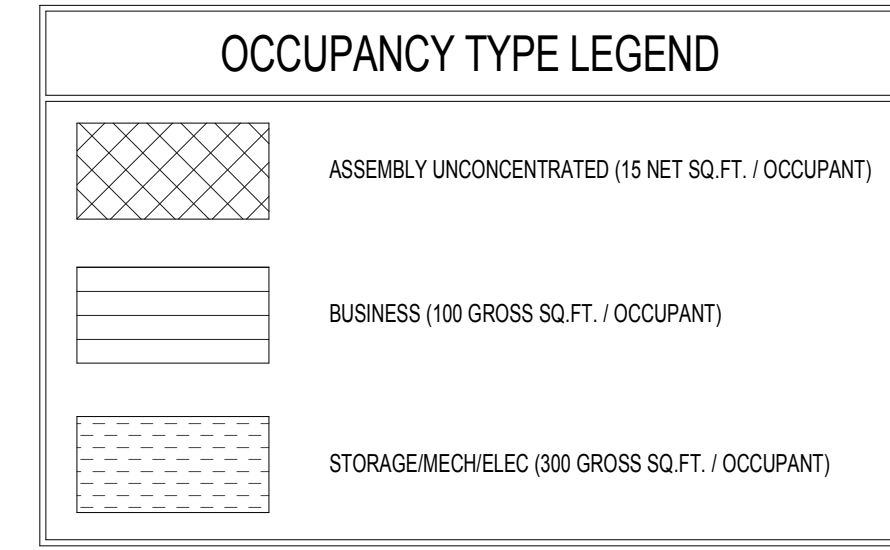
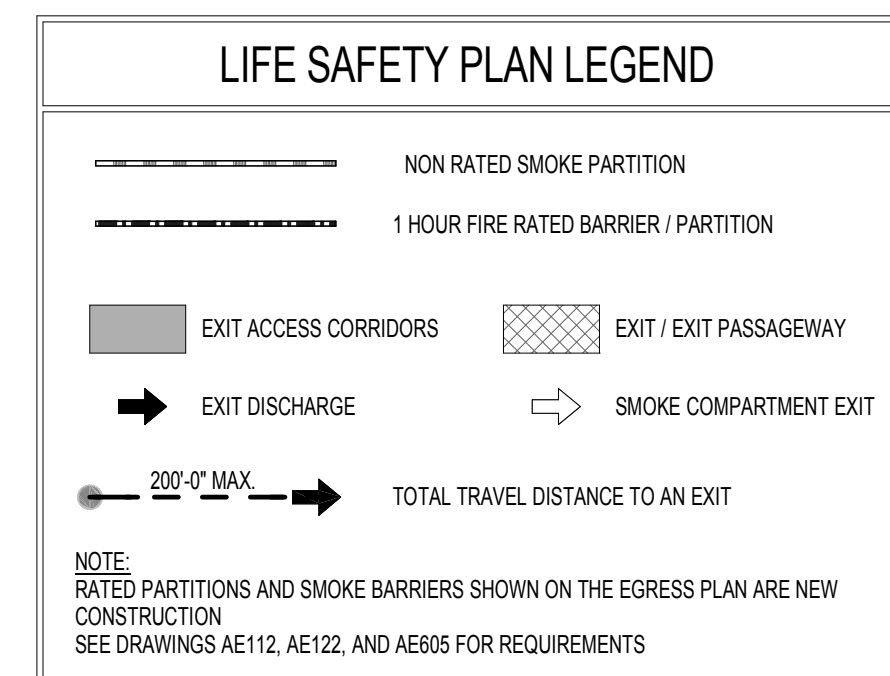
F2 LEVEL 1 OCCUPANCY PLAN  
1/16" = 1'-0"



C4 LEVEL 2 LIFE SAFETY PLAN  
1/16" = 1'-0"



F4 LEVEL 2 OCCUPANCY PLAN  
1/16" = 1'-0"



PROJECT AREA SUMMARY	
BASEMENT	2,238 S.F.
FIRST FLOOR	12,143 S.F.
SECOND FLOOR	6,338 S.F.
TOTAL AREA	20,719 S.F.

BUILDING CONSTRUCTION TYPE	
NFPA 101 2012	IBC 2012
TYPE II (0.0)	TYPE II B

BUILDING OCCUPANT LOAD			
BASEMENT			
USE	AREA (SF)	SF/PERSON	LOAD
ASSEMBLY UNCONCENTRATED	-	15 NET	-
BUSINESS	-	100 GROSS	-
STORAGE/MECHANICAL	2,238	300 GROSS	8
TOTAL LOAD	2,238	-	8
FIRST FLOOR			
USE	AREA (SF)	SF/PERSON	LOAD
ASSEMBLY UNCONCENTRATED	1,465	15 NET	98
BUSINESS	10,042	100 GROSS	101
STORAGE/MECHANICAL	636	300 GROSS	2
TOTAL LOAD	12,143	-	165

SECOND FLOOR			
USE	AREA (SF)	SF/PERSON	LOAD
ASSEMBLY UNCONCENTRATED	745	15 NET	50
BUSINESS	4,847	100 GROSS	49
STORAGE/MECHANICAL	746	300 GROSS	3
TOTAL LOAD	6,338	-	102
TOTAL BUILDING LOAD	21,596	-	275

FIRE RATINGS		
CONSTRUCTION TYPE	TYPE 2 (0.0) PROTECTED	
BUILDING ELEMENTS	HOURS	UL DESIGN #
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS AND TRUSSES	0	
BEARING WALLS	EXTERIOR 0 INTERIOR 0	
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOINTS	0	
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOINTS	0	
NON-LOADBEARING WALLS AND PARTITIONS	0	N/A
EXTERIOR WALLS (TABLE 602.705)	0	
FIRE WALLS (705)	2	N/A
EXIT ENCLOSURES (707.3.2 / 1022.1)	1	# U465U419
EXITS PASSAGEWAY (707.3.3 / 1023.3)	1	# U465U419
HORIZONTAL EXITS (707.3.4 / 1025.1)	2	N/A
INCIDENTAL USE AREAS (707.3.6 / 508.2)	1	N/A
OCCUPANCIES SEPARATION (706.3.6 / 508.3.3)	2	N/A
FIRE PARTITIONS (706)	1	N/A
SMOKE BARRIERS (709)	1	N/A
SHAFT ENCLOSURES (708)	1	# U465U415
CORRIDOR WALLS (708.3 / 1017.1)	0	N/A

GENERAL NOTES:  
1) ALL RATED INTERIOR PARTITION SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE RATED PARTITION SCHEDULE UNLESS NOTED OTHERWISE ON THE FLOOR PLANS  
2) CONTRACTOR TO PATCH AND REPAIR ALL NEW FIREPROOFING AFTER INSTALLATION OF NEW WORK AS REQUIRED TO MAINTAIN REQUIRED FIRE RATING. CONTRACTOR TO USE MATERIALS COMPATIBLE WITH EXISTING FIREPROOFING FOR PATCH WORK, OR PER UL # LISTED ABOVE.  
3) PROVIDE SPRAYED FIREPROOFING UL# X723 AT SUPPORTING MEMBERS OR WITHIN RATED ENCLOSURES.

CODE REQUIREMENTS FOR NEW STRUCTURE		
APPLICABLE CODES:	APPLICABLE CODES (continued):	
- VA DIRECTIVES, DESIGN MANUALS, MASTER SPECIFICATIONS, VA NATIONAL CAD STANDARD APPLICATION GUIDE, AND OTHER GUIDANCE ON THE TECHNICAL INFORMATION LIBRARY	DOE INTERIM FINAL RULE: ENERGY CONSERVATION STANDARDS FOR NEW FEDERAL, COMMERCIAL, AND MULTI-FAMILY HIGH-RISE RESIDENTIAL BUILDINGS AND NEW LOW-RISE RESIDENTIAL BUILDINGS, 10 CFR PARTS 433, 434 AND 435	
- NFPA 101 LIFE SAFETY CODE 2012	FEDERAL LEADERSHIP IN HIGH PERFORMANCE AND SUSTAINABLE BUILDINGS: MEMORANDUM OF UNDERSTANDING	
- NFPA NATIONAL FIRE CODES WITH THE EXCEPTION OF NFPA 900 AND NFPA 900	EXECUTIVE ORDER 13423: STRENGTHENING FEDERAL ENVIRONMENTAL, ENERGY, AND TRANSPORTATION MANAGEMENT	
- OSHA STANDARDS	THE PROVISIONS FOR CONSTRUCTION AND SAFETY SIGNS, STATIONED IN THE GENERAL REQUIREMENTS SECTION 01010 OF THE VA MASTER CONSTRUCTION SPECIFICATION	
- VA SEISMIC DESIGN REQUIREMENTS, H-18-8	VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY - ASHRAE STANDARD 62.1-2004	
- NATIONAL ELECTRICAL CODE	SAFETY STANDARD FOR REFRIGERATION SYSTEMS - ASHRAE STANDARD 15-2007	
- ENERGY POLICY ACT 2005		
- NATIONAL STANDARD PLUMBING CODE		
- SAFETY CODE FOR ELEVATORS AND ESCALATORS, ASME A 17.1		
- ASME BOILER AND PRESSURE VESSEL CODE		
- ASME CODE FOR PRESSURE PIPING		
- ABAS INCLUDING VA SUPPLEMENT, BARRIER FREE DESIGN GUIDE PG-18-13		
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318		
- AISC MANUAL OF STEEL CONSTRUCTION, LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS		
BUILDING OCCUPANCY CLASSIFICATION	BUILDING CODE (2009)	NFPA 101 (2012)
TYPE OF CONSTRUCTION	N/A	BUSINESS
BUILDING HEIGHT	N/A	TYPE 2 (0.0, 0)
BUILDING AREA	N/A	2 STORIES + BASEMENT / 49 FT.
FIRE SUPPRESSION SYSTEM	N/A	21,596 SQ. FT.
TABLE 603		NFPA 13 SPRINKLER SYSTEM
ALLOWABLE HEIGHT	3 STORIES / 55 FT.	
FRONTAGE INCREASE	N/A	
SPRINKLER INCREASE	200 PERCENT	
ALLOWABLE AREA - PER FLOOR	46,000 SQ. FT. FLOOR	
TOTAL ALLOWABLE AREA	138,000 SQ. FT.	
SEISMIC / WIND REQUIREMENTS		
OCCUPANCY CATEGORY	II	
SEISMIC DESIGN CATEGORY	B	
WIND ZONE	B (80 MPH WIND SPEED)	
CORRIDOR WIDTH		
CORRIDOR SERVING 50 PEOPLE OR LESS	N/A	36 INCHES
CORRIDORS NON-HOSPITAL	N/A	44 INCHES
CORRIDOR ACCESS (MIN.)	N/A	60 INCHES
CORRIDORS 1-2 BED MOVEMENT	N/A	N/A
ALLOWABLE DEAD END CORRIDOR	N/A	50 FEET
TRAVEL DISTANCE		
MAXIMUM ALLOWABLE TRAVEL DISTANCE	N/A	300 FEET
SUITE TRAVEL DISTANCE	N/A	N/A
COMMON PATH OF TRAVEL	N/A	100 FEET
OCCUPANT		
OCCUPANT LOAD	N/A	SEE SHEET G101
EXIT		
(MINIMUM) NUMBER OF EXITS REQUIRED	N/A	2 REQUIRED (< 500 OCCUPANT) 3 REQUIRED (500-1000 OCCUPANT) 4 REQUIRED (> 1001 OCCUPANT)
EXIT CAPACITY	N/A	SEE SHEET G101
(MINIMUM) STAIR, DOOR AND CORRIDOR WIDTH	(STAIR) XX" / 0.3 = SEE SHEET G101 (DOOR AND CORRIDOR) XX" / 0.2 = SEE SHEET G101	
CORRIDOR FIRE-RESISTANT RATING		
WITH OCCUPANT LOAD GREATER THAN 30	N/A	N/A
INTERIOR FINISHES	EXIT	CORRIDORS
INTERIOR WALL AND CEILING FINISH REQUIREMENTS	CLASS A OR B	CLASS A OR B
INTERIOR FLOOR FINISH REQUIREMENTS	CLASS 1 OR 2	CLASS A OR B

CONSULTANTS:

Civil Engineer  
**Dewberry**

Structural Engineer  
**WZIG**

MEP Engineer  
**THE LENZ COMPANY**

Environmental Consultant  
**SSM**

Cost Estimator  
**INTERNATIONAL CONSULTANTS, INC.**

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Philadelphia, PA 19106  
Tel: (215) 923-8888

ARCHITECT:

**ARRAY**  
healthcare facilities solutions

Project Number  
3468

Scale  
As indicated

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f: 610.270.0995  
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Drawing Title  
LIFE SAFETY & OCCUPANCY PLANS

Approved: Project Director

Project Title  
Behavioral Health Complex

Location  
1700 South Lincoln Ave. Lebanon, PA 17042

Date  
07/27/2012

Checked  
EBC

Drawn  
NH

VA Project Number  
595-109

Building Number  
34

Drawing Number  
G1101

Dwg. 4 of 123

Office of Facilities Management

VA FORM DB-6231, OCT 1978



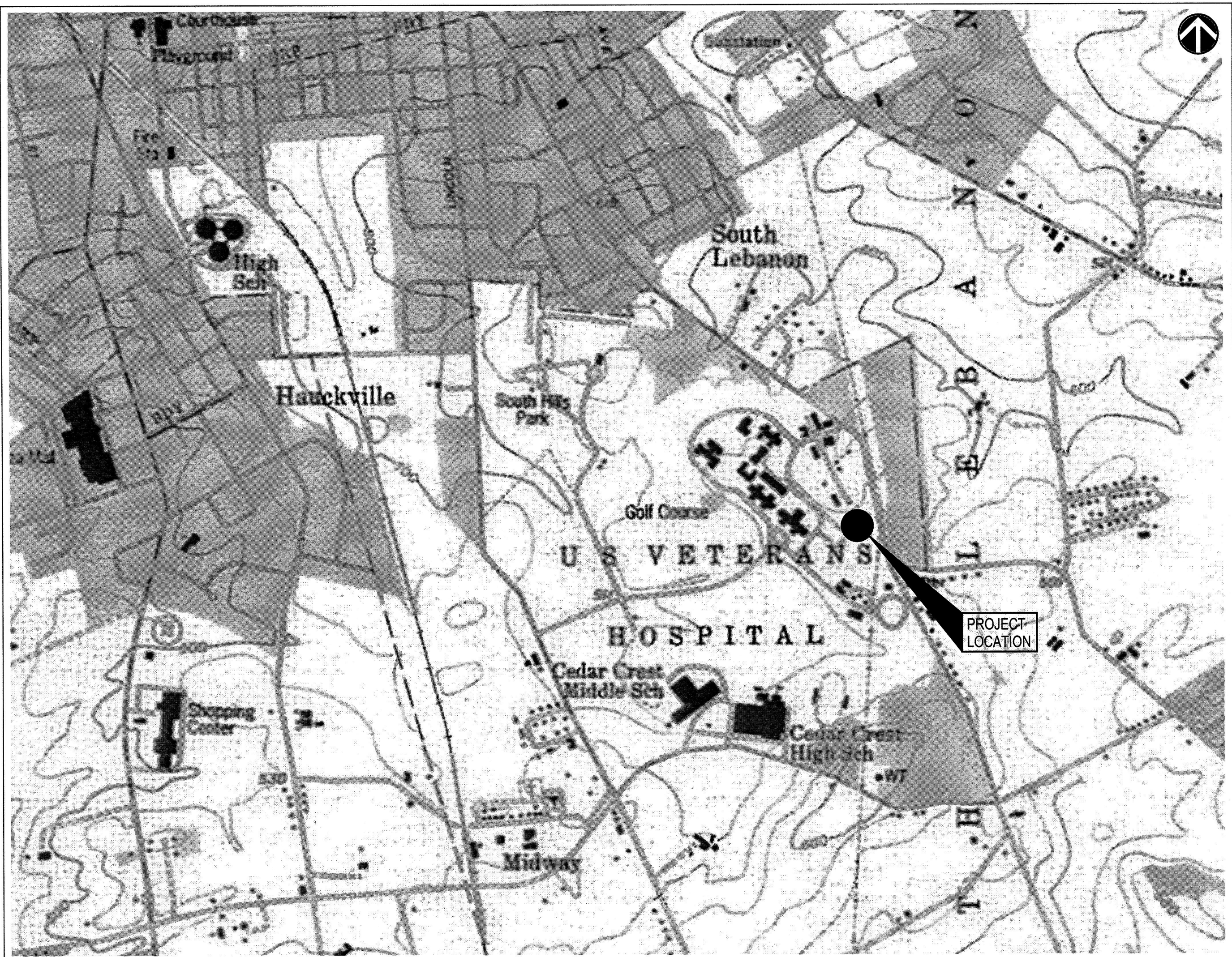
# LEBANON VETERANS AFFAIRS MEDICAL CENTER

## BEHAVIORAL HEALTH COMPLEX

## LEBANON COUNTY, PENNSYLVANIA

### SITE ABBREVIATIONS

ADA	AMERICANS WITH DISABILITIES ACT	INV	INVERT
ALT	ALTERNATE OR ALTITUDE	INV EL	INVERT ELEVATION
APPROX	APPROXIMATE	LF	LINEAR FEET (FOOT)
AVE	AVENUE	MH	MANHOLE
AWWA	AMERICAN WATER WORKS	MIN	MINIMUM
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BFE	BASEMENT FLOOR ELEVATION	NTS	NOT TO SCALE
BITUM	BITUMINOUS	OC	ON CENTER
BW	BOTTOM OF WALL	PADOT	PENNSYLVANIA DEPT. OF TRANSPORTATION
CL	CENTER LINE, CLASS, OR CLOSE	PERF	PERFORATED
CLASS	CLASSIFICATION	PL	PROPERTY LINE
CLR	CLEAR	PREV	PREVIOUS
CMP	CORRUGATED METAL PIPE	PROJ	PROJECT
CO	CERTIFICATE OF OCCUPANCY, CLEANOUT, COMPANY, OR CUTOUT	PSI	POUNDS PER SQUARE INCH
DET	DETAIL	PVC	POLYVINYL CHLORIDE (PLASTIC)
DIP	DUCTILE IRON PIPE	R	RADIUS OR RANGE
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EPA	ENVIRONMENTAL PROTECTION AGENCY	RD	ROAD OR ROOF DRAIN
EQUIP	EQUIPMENT	SAN	SANITARY
EQUIV	EQUIVALENT	SCH	SCHEDULE
EW	EACH WAY	ST	SPECIFICATION
EXIST	EXISTING	STA	STATION
FIN	FINISH	SW	SIDEWALK
FFE	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FT	FEET OR FOOT	TD	TRENCH DRAIN
G	GROUND OR NATURAL GAS	THK	THICKNESS
GR	GRATE	TW	TOP OF WALL
HC	HANDICAP	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	UTIL	UTILITY
HYD	HYDRANT	VAR	VARIES
ID	INSIDE DIAMETER OR INSIDE DIMENSION	W/O	WITHOUT
		XFMR	TRANSFORMER



LOCATION MAP

SCALE: 1"=1000'

FULLY SPRINKLERED  
100% CONSTRUCTION DOCUMENTS

CONSULTANTS:		ARCHITECT:		Project Number 3468	Scale	Drawing Title COVER SHEET	Project Title Behavioral Health Complex	VA Project Number 595-109	Office of Facilities Management  Department of Veterans Affairs
Civil Engineer <b>Dewberry</b>	Structural Engineer <b>WZG</b>	MEP Engineer <b>HEBELTNEY</b>	Environmental Consultant <b>SSM</b>	2520 Renaissance Boulevard, Suite 110 King of Prussia, PA 19406 t: 610.270.0599 f: 610.270.0995 www.arrayhfs.com		Approved: Project Director	Location 1700 South Lincoln Ave. Lebanon, PA 17042	Building Number 34	
800 Parsippany Road, Suite 301 Parsippany, NJ 07054-3715 Tel (973) 739-9400 Fax (973) 739-9710	180 W. Ridge Pike Limerick, PA 19468 Tel (214) 329-5559	1407 Scalp Avenue Johnstown, PA 15044 Tel (814) 269-8300 Fax (814) 269-8301	1047 North Park Road, P.O. Box 6307 Reading, PA 19610 Tel (610) 621-2000	221 Chestnut Street, Suite 200 Philadelphia, PA 19106 Tel (215) 923-8888	Date 07/27/2012	Checked MI	Drawn SP	Drawing Number GS-001	
Revisions		Date						Dwg. 5 of 123	



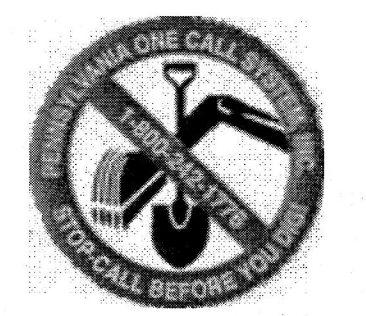
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ninety seven inches = one foot  
ninety eight inches = one foot  
ninety nine inches = one foot  
one hundred inches = one foot



- NOTES:
1. BASE MAP INFORMATION SHOWN HEREON TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS & DEMOLITION PLAN", PREPARED BY ASTORINO, DATED 12/17/2010 WITH SUPPLEMENTAL FIELD SURVEY PERFORMED BY DEWBERRY ON 12/08/2011.
  2. RESIDENTIAL REHABILITATION AND RECOVERY (RRR) BUILDING IMPROVEMENTS SHOWN HEREON ARE TAKEN FROM A PLAN ENTITLED "SITE LAYOUT PLAN", PREPARED BY ASTORINO, DATED 12/17/2010.
  3. EXISTING GAS UTILITY LOCATION SHOWN HEREON FROM STATE DRIVE TO PROPOSED RRR BUILDING IS THE PROPOSED ALIGNMENT TO BE CONSTRUCTED AS PART OF THE RRR PROJECT. CONTRACTOR TO VERIFY LOCATION PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.






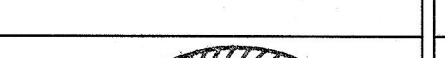

ALTERNATE #1  
DEMOLITION & RESTORATION NOTES:

1. EXISTING PARKING LOT, BUILDING, SIDEWALK RAMP, AND STAIR AREAS TO BE REMOVED SHALL BE VEGETATED WITH PERMANENT STABILIZATION SEED MIXTURE.
2. DEMOLITION OF EXISTING BUILDINGS INCLUDES REMOVAL OF FOUNDATION WALLS, FOOTINGS, AND BASEMENT FLOOR SLAB. BACKFILL OF BASEMENT TO BE ENGINEERED BACKFILL UTILIZING SATISFACTORY SOILS. BUILDING DEMOLITION RUBBLE INCLUDING BUT NOT LIMITED TO MASONRY AND CONCRETE MATERIALS ARE NOT PERMITTED AS BACKFILL MATERIAL.



GRAPHIC SCALE  
0 50 100

FULLY SPRINKLERED  
100% CONSTRUCTION DOCUMENTS

CONSULTANTS:										ARCHITECT:										Project Number 3468	Scale 1"=50'	Drawing Title EXISTING CONDITIONS AND DEMOLITION PLAN	Project Title Behavioral Health Complex		VA Project Number 595-109	Office of Facilities Management  Department Veterans Affairs																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
<div>Civil Engineer </div>					<div>Structural Engineer </div>		<div>MEP Engineer </div>		<div>Environmental Consultant </div>		<div>Cost Estimator </div>		<div></div>										<div> <b>ARRAY</b> healthcare facilities solutions</div>										2520 Renaissance Boulevard, Suite 110 King of Prussia, PA 19406  t: 610.270.0599 f: 610.270.0995 www.arrayhfs.com												Location 1700 South Lincoln Ave. Lebanon, PA 17042		Drawing Number 34	Drawing Number GS-100	Dwg. 6 of 123																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
<div>600 Parsippany Road, Suite 301 Parsippany, NJ 07054-3715 Tel (973) 739-9400 Fax (973) 739-9710</div>										<div>180 W. Ridge Pike Limerick, PA 19368 Tel (214) 329-5559</div>		<div>1407 Scarp Avenue Johnstown, PA 15804 Tel (814) 269-9300 Fax (814) 269-9301</div>		<div>1047 North Park Road, P.O. Box 6307 Reading, PA 19610 Tel (610) 621-2000</div>		<div>221 Chestnut Street, Suite 200 Philadelphia, PA 19106 Tel (215) 923-8888</div>														Approved: Project Director			Date 07/27/2012	Checked MI	Drawn SP																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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